

1 Demolition Plan  
SCALE: 1/4" = 1'-0"

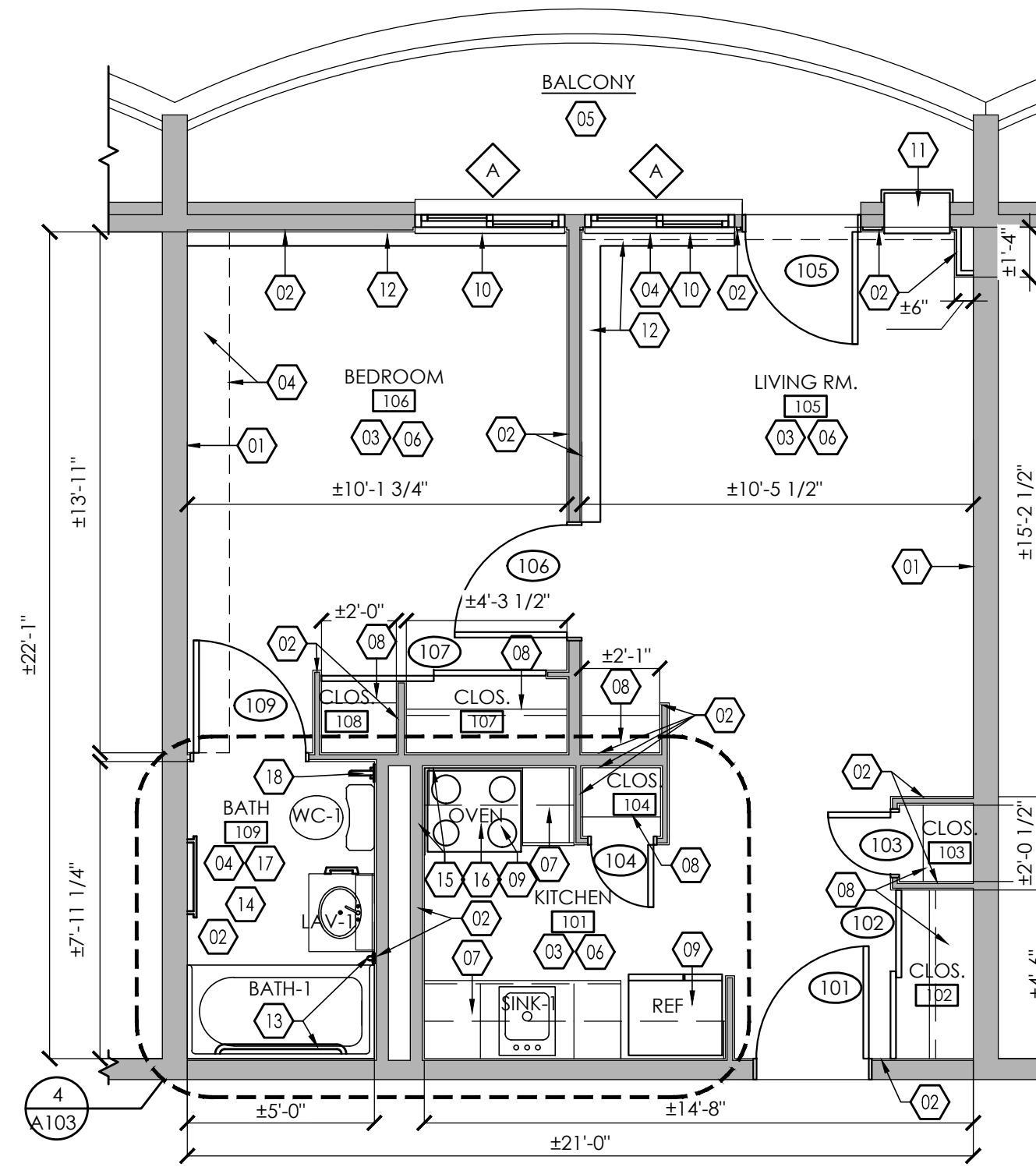
DEMOLITION KEYNOTES

NOTES A1-A14 - CONTRACTOR DEMOLITION SCOPE OF WORK

- A 1 - REMOVE EXISTING WALL FINISH, BASE AND TRIM. VERIFY IN FIELD CONDITION OF EXISTING STUDS AND REPLACE AS REQUIRED. PREPARE SUBSTRATE TO RECEIVE NEW WALL FINISH.
- A 2 - REMOVE EXISTING CEILING FINISH AND PREPARE SUBSTRATE TO RECEIVE NEW FINISH.
- A 3 - REMOVE EXISTING FINISH FLOORING/FLOORING REMNANTS AS REQUIRED (V.I.F.). PREPARE SUBSTRATE TO RECEIVE NEW FLOOR FINISH.
- A 4 - REMOVE EXISTING DOOR, AND/OR FRAME AND TRIM AS NOTED.
- A 5 - REMOVE EXISTING CABINETS, COUNTER TOPS AND SHELVING.
- A 6 - REMOVE EXISTING CLOSET RODS AND CLOSET SHELVING.
- A 7 - OWNER (RHA) TO DISCONNECT AND REMOVE EXISTING APPLIANCES (REFRIGERATOR, OVEN, ETC.). CONTRACTOR TO VERIFY IN FIELD AND COORDINATE REMOVE SCOPE WITH OWNER (RHA).
- A 8 - DISCONNECT AND REMOVE EXISTING PLUMBING FIXTURES (KITCHEN SINK, LAVATORY SINK W/ BASE AND TOILET).
- A 9 - REMOVE EXIST BATHTUB AND SURROUND. PREPARE SPACE TO RECEIVE NEW STEEL AND SOLID SURFACE SURROUND.
- A 10 - REMOVE EXISTING BATHROOM ACCESSORIES (TOWEL ROD, TOILET PAAPER HOLDER, ETC).
- A 11 - REMOVE EXISTING BASEBOARD RADIANT HEATING UNIT. SLANT FIN BASEBOARD RADIANT HEATING COVERS TO REMAIN FOR RE-INSTALLATION. VERIFY IN FIELD EXISTING WATER SUPPLY PIPE CONDITION.
- A 12 - REMOVE EXISTING EXHAUST FAN UNITS. VERIFY IN FIELD CONDITION OF EXISTING DUCT. CLEAN AND /OR REPLACE EXISTING DUCTWORK AS REQUIRED. EXTERIOR LOUVER TO REMAIN.
- A 13 - EXISTING AC HOUSING FRAME TO REMAIN AND BE REPAIRED.
- A 14 - DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES, OUTLETS, SWITCHES, ALARMS AND ELECTRICAL PANELS.

NOTES A15-A16 - OWNER (RHA) SCOPE OF WORK TO BE COORDINATED WITH CONTRACTOR

- A 15 - RHA MAINTENANCE TO REMOVE AND REPLACE HALLWAY DOOR FRAME AND TRIM. CONTRACTOR TO COORDINATE WORK PROGRESS WITH RHA MAINTENANCE.
- A 16 - RHA MAINTENANCE TO REMOVE AND REPLACE EXTERIOR WINDOWS. CONTRACTOR TO COORDINATE WORK PROGRESS, SILL AND TRIM WITH RHA MAINTENANCE.



2 Proposed Plan  
SCALE: 1/4" = 1'-0"

CONSTRUCTION KEYNOTES

- 01 - PATCH, REPAIR AND PAINT EXISTING CONCRETE DEMISING WALL.
- 02 - PROVIDE NEW 5/8" DRYWALL FASTENED TO EXISTING WALL FRAMING. VERIFY IN FIELD CONDITION OF FRAMING PRIOR TO INSTALLATION. REPAIR AND/OR REPLACE FRAMING AS REQUIRED OF PRIME AND PAINT.
- 03 - PATCH AND REPAIR EXISTING CONCRETE CEILING. PREPARE FOR NEW SPRAY ON POPCORN CEILING FINISH.
- 04 - PROVIDE NEW 5/8" DRYWALL FASTENED TO EXISTING CEILING/SOFFIT FRAMING. VERIFY IN FIELD CONDITION OF FRAMING PRIOR TO INSTALLATION. REPAIR AND/OR REPLACE FRAMING AS REQUIRED OF PRIME AND PAINT.
- 05 - CLEAN, EXISTING EXTERIOR BRICK AT BALCONY.
- 06 - PROVIDE NEW LUXURY VINYL PLANK FLOORING.
- 07 - PROVIDE NEW BUTCHER BLOCK LAMINATE COUNTER TOP WITH BACK SPLASH. FINISH TO BE SELECTED BY OWNER (RHA).
- 08 - PROVIDE CLOSET ROD AND WOOD SHELVING. COORDINATE WITH OWNER SHELF CONFIGURATION/SPACING.
- 09 - APPLIANCES (REFRIGERATOR, OVEN, ETC.) TO BE FURNISHED BY OWNER.
- 10 - CONTRACTOR TO FURNISH AND INSTALL LEVELOR RIVIERA CLASSIC (OR APPROVED EQUAL) 1" WIDE ALUMINUM SLAT CORDLESS BLINDS (COMMERCIAL).
- 11 - AIR CONDITIONER, EXISTING SUPPORT HOUSING AND COVER TO BE REPAIRED BY CONTRACTOR.
- 12 - CONTRACTOR TO CLEAN EXISTING FIN TUBES AND CLEAN AND PAINT COVERS RETAINED DURING DEMOLITION AND RE-INSTALL.
- 13 - FURNISH AND INSTALL (1) 42" GRAB BAR AND (1) 24" VERTICAL GRAB BAR. PROVIDE BLOCKING AS REQUIRED.
- 14 - PROVIDE BATHROOM ACCESSORIES (TOILET PAPER HOLDER, TOWEL BAR, MED CABINET). COORDINATE ACCESSORY SELECTION WITH OWNER (RHA). PROVIDE BLOCKING AS REQUIRED.
- 15 - PROVIDE STEEL BACK PANEL AT OVEN LOCATION.
- 16 - PROVIDE DUCTLESS RANGE HOOD OVER STOVE. SEE MECHANICAL PLANS.
- 17 - PROVIDE CERAMIC MOSAIC TILE FLOOR AND BASE.
- 18 - FURNISH AND INSTALL (1) FLIP UP GRAB BAR. PROVIDE R/C BLOCKING AS REQUIRED.

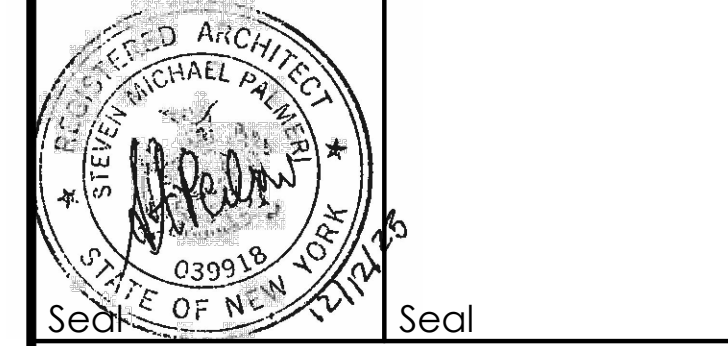
GENERAL NOTES:

- CONSTRUCTION SHALL CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, AND REGULATIONS OF THE CITY OF ROCHESTER.
- CONTRACTOR IS TO OBTAIN BUILDING PERMITS, PAY FEES, COORDINATE THE SCHEDULE OF INSPECTIONS AS REQUIRED BY THE CITY OF ROCHESTER.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES.
- ALL EXISTING SERVICES TO REMAIN. CONTRACTOR SHALL MODIFY AS REQUIRED WHERE AFFECTED BY WORK.
- LUMBER DESIGN BASED ON MINIMUM DESIGN PROPERTIES FOR NO. 2 GRADE LUMBER OF DOUGLAS FIR.
- WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH, OR WITHIN 1'-0" OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE PRESERVATIVE TREATED.
- FRAMING ANCHORS, JOIST HANGERS, AND MISCELLANEOUS METAL, CONNECTING DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 1/4" GAGE THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUF.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
- CONSTRUCTION METHODS AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.
- COORDINATE DEMOLITION WITH PROPOSED WORK.
- PROVIDE TEMPORARY SHORING PRIOR TO REMOVING COLUMNS/STRUCTURAL MEMBERS.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO PROTECT AREAS OF BUILDING TO REMAIN.
- ALL ITEMS SHOWN TO BE REMOVED ARE TO BE DISPOSED OF LEGALLY UNLESS OTHERWISE NOTED.

WINDOW SCHEDULE

- ◊ - WINDOWS TO BE INSTALLED BY OWNER (RHA) PRIOR TO START OF CONSTRUCTION (V.I.F.)

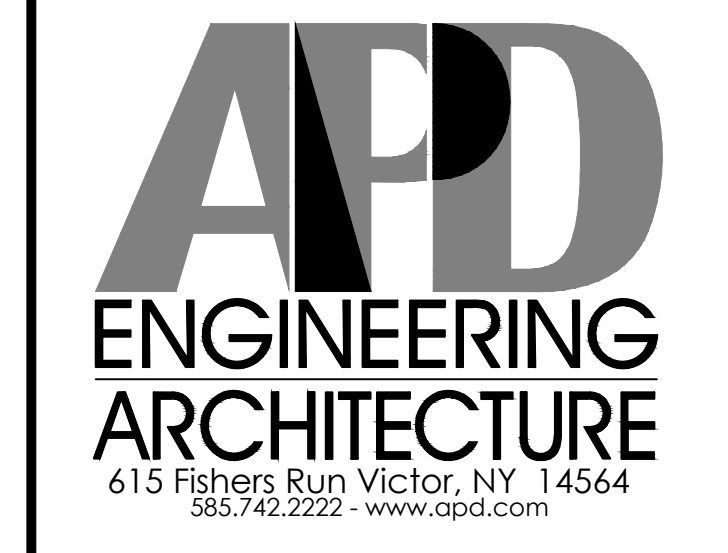
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PROJECT ARCHITECT/ENGINEER	DATE
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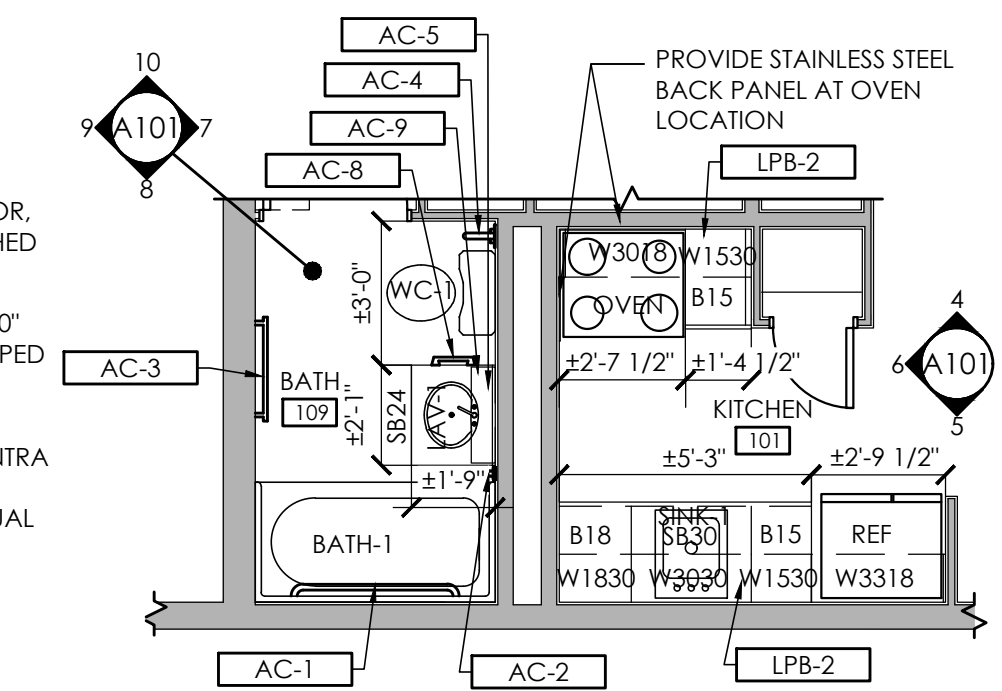
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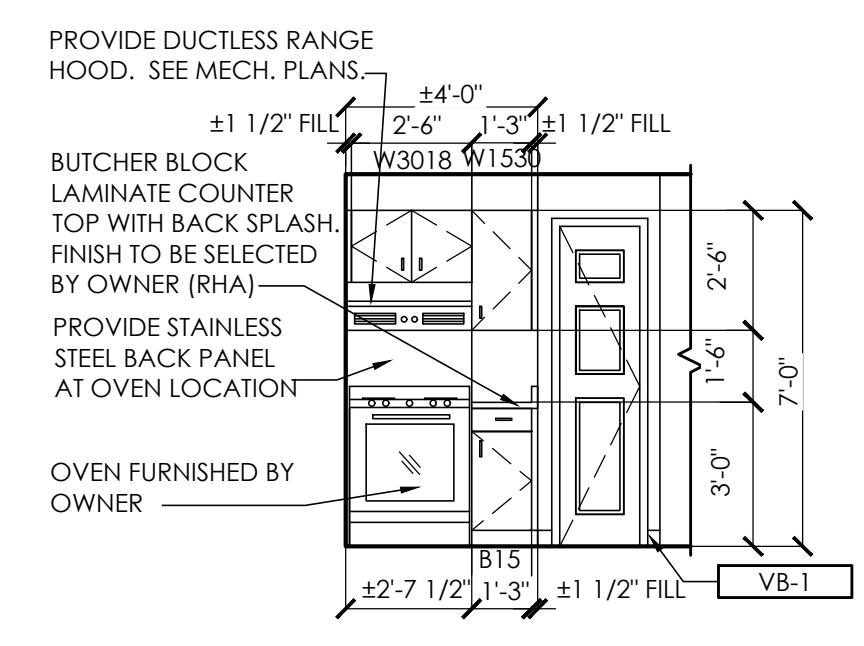
Seneca Manor Apartment  
Fire Damage Restoration  
401 Seneca Manor, Apt. 1117  
Rochester, NY 14621  
Monroe County  
Project Name & Location:

Floor Plans and Elevations Drawing Name:	Project No. 23-0317
Date: 08/17/23	
Type: Restoration	
Drawn By: SMP	A-101
Scale: As Noted	Drawing No.

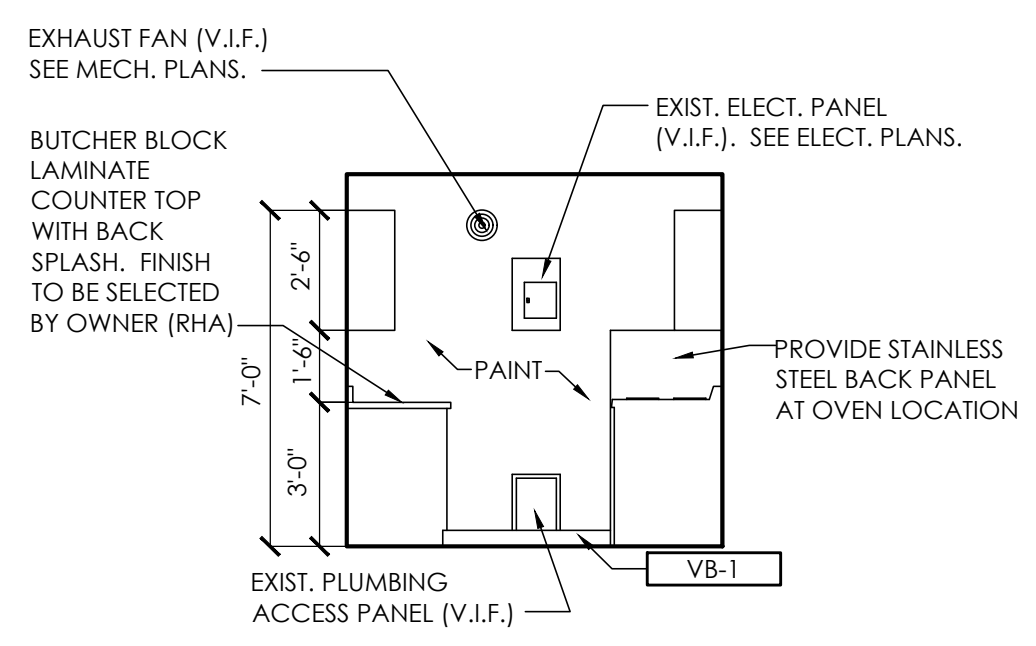


3 KITCHEN #101, BATH #109  
SCALE: 1/4" = 1'-0"

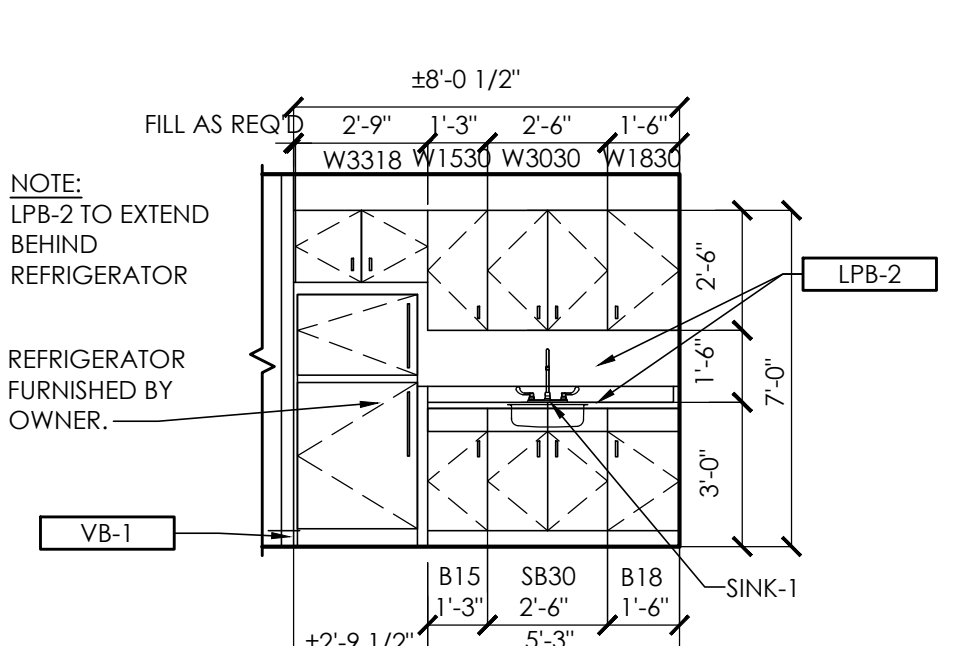
- NOTES:
- 1. - APPLIANCES (REFRIGERATOR, OVEN, ETC.) TO BE FURNISHED BY OWNER
  - 2. - FURNISH AND INSTALL (1) 30" GRAB BAR AND (1) 1" SHAPED GRAB BAR. PROVIDE BLOCKING AS REQUIRED.
  - 3. - FURNISH AND INSTALL MANTRA OMNI CABINETS. COLOR: SNOW OR APPROVED EQUAL



4 KITCHEN #101  
SCALE: 1/4" = 1'-0"

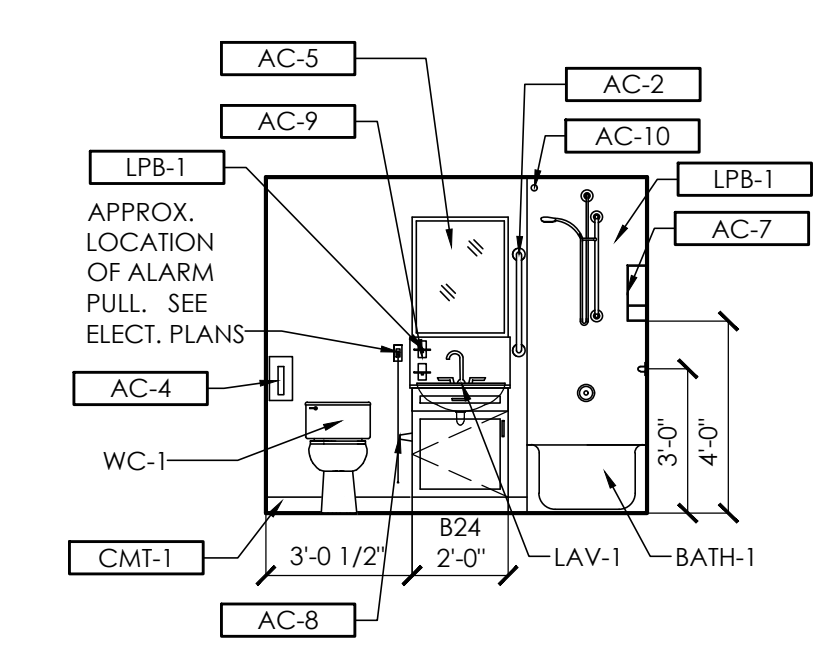


5 KITCHEN #101  
SCALE: 1/4" = 1'-0"

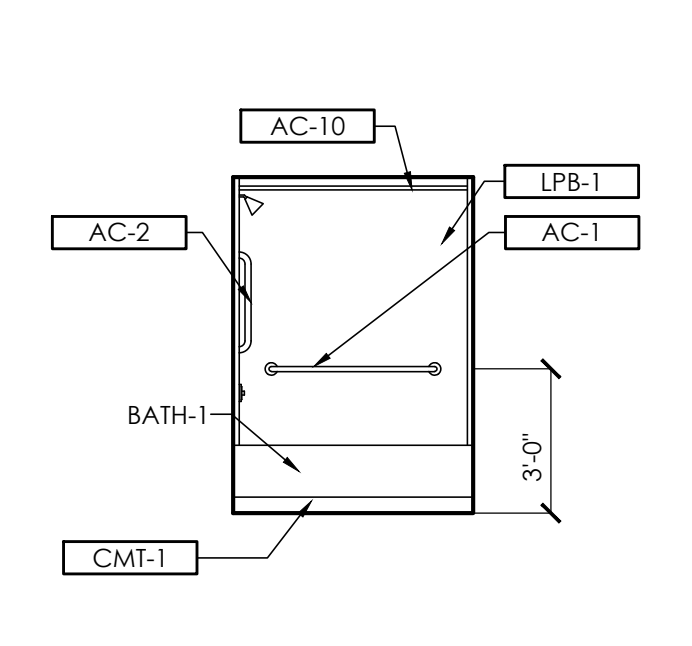


6 KITCHEN #101  
SCALE: 1/4" = 1'-0"

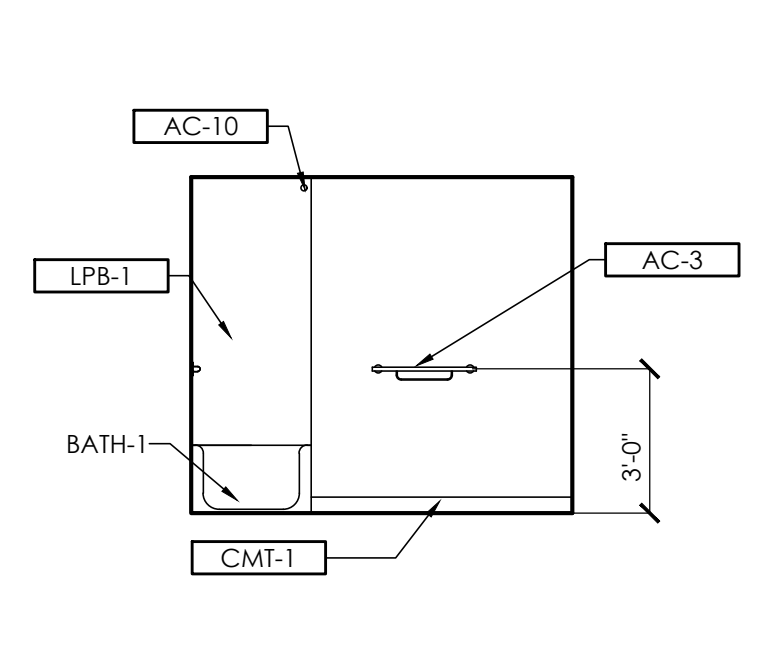
ACCESSORIES SCHEDULE			
KEY	KEY DESCRIPTION	MANUFACTURER	NOTES
AC-1	GRAB BAR	MOEN - MODEL 8942 OR EQUAL	42" LONG SATIN FINISH PROVIDE BLOCKING AS REQ'D
AC-2	GRAB BAR	MOEN - MODEL 8942 OR EQUAL	24" LONG SATIN FINISH MOUNTED VERTICALLY. PROVIDE BLOCKING AS REQUIRED
AC-3	GRAB BAR WITH INTEGRATED TOWEL BAR	MOEN CREATIVE SPECIALTIES - MODEL LR2350DBN OR EQUAL	BRUSHED NICKEL FINISH. PROVIDE BLOCKING AS REQUIRED
AC-4	FLIP UP GRAB BAR	MOEN - MODEL R8960FD OR EQUAL	PROVIDE BLOCKING AS REQUIRED
AC-5	MIRRORED CABINET	KOHLER - VERDERA K-99007 OR EQUAL	
AC-6	TOWEL DISPENSER	BRADLEY - MODEL 5402 OR EQUAL	SURFACE MOUNT
AC-7	SHOWER CADDY	SAM MUELLER - MONTERAY SHOWER CADDY SMSC1506 OR EQUAL	21[V] WHITE
AC-8	TOILET PAPER DISPENSER	MOEN - PIVOTING PAPER HOLDER YB5108 OR EQUAL	BRUSHED NICKEL FINISH
AC-9	SOAP HOLDER	MOEN CREATIVE SPECIALTIES - TOOTHBRUSH & SOAP HOLDER P1740, P1760 OR EQUAL	PROVIDE WOOD BLOCKING OR ANCHORING AS REQUIRED
AC-10	SHOWER ROD	SIGNATURE HARDWARE - CURVED SHOWER CURTAIN ROD 91170 OR EQUAL	60" WIDTH V.I.F.



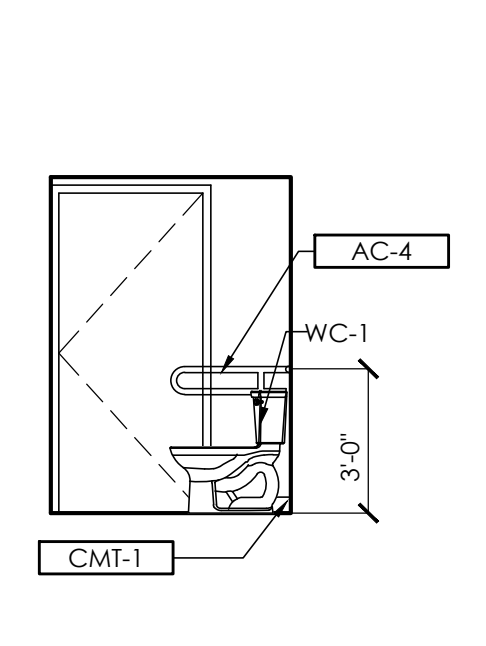
7 BATH #109  
SCALE: 1/4" = 1'-0"



8 BATH #109  
SCALE: 1/4" = 1'-0"



9 BATH #109  
SCALE: 1/4" = 1'-0"



10 BATH #109  
SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE:																			
ROOM NO.	ROOM NAME	FLOOR	BASE	WAINSCOTT	ALL		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING			REMARKS	ROOM NO.
					MAT	FIN.	MAT	FIN.	MAT	FIN.	MAT	FIN.	MAT	FIN.	HGT.				
101	KITCHEN	LVP-1	VB-1	-	EX. CONC./GYP.	PT. CL-1									EX. CONC.	POPCORN /PT.-CL-4	±7'-9"	PROVIDE LPB-1 BACKSPLASH AT COUNTERTOPS. PROVIDE STEEL AT OVEN	101
102	CLOSET	LVP-1	VB-1	-	EX. CONC./GYP.	PT. CL-4									EX. CONC.	POPCORN /PT.-CL-4	±7'-9"	PROVIDE CLOSET ROD AND SHELF	102
103	CLOSET	LVP-1	VB-1	-	EX. CONC./GYP.	PT. CL-4									EX. CONC.	POPCORN /PT.-CL-4	±7'-9"	PROVIDE CLOSET ROD AND SHELF	103
104	CLOSET	LVP-1	VB-1	-	EX. CONC./GYP.	PT. CL-4									EX. CONC.	POPCORN /PT.-CL-4	±7'-9"	PROVIDE CLOSET ROD AND SHELF	104
105	LIVING RM.	LVP-1	VB-1	-	EX. CONC./GYP.	PT. CL-1									EX. CONC.	POPCORN /PT.-CL-4	±7'-9"		105
106	BEDROOM	LVP-1	VB-1	-	-	-	GYP.	PT. CL-2	EX. CONC./GYP.	PT. CL-4	EX. CONC./GYP.	PT. CL-2	GYP.	PT. CL-2	EX. CONC./GYP.	POPCORN /PT.-CL-4	±7'-9"	ACCENT WALL AT EAST TENANT DEMISING WALL	106
107	CLOSET	LVP-1	VB-1	-	EX. CONC./GYP.	PT. CL-5									EX. CONC.	POPCORN /PT.-CL-4	±7'-9"	PROVIDE CLOSET ROD AND SHELF	107
108	CLOSET	LVP-1	VB-1	-	EX. CONC./GYP.	PT. CL-4									EX. CONC.	POPCORN /PT.-CL-4	±7'-9"	PROVIDE CLOSET ROD AND SHELF	108
109	BATH	CMT-1	CMT-1	-	EX. CONC./GYP.	PT. CL-3									GYP	PT. CL-4	±7'-0"		109

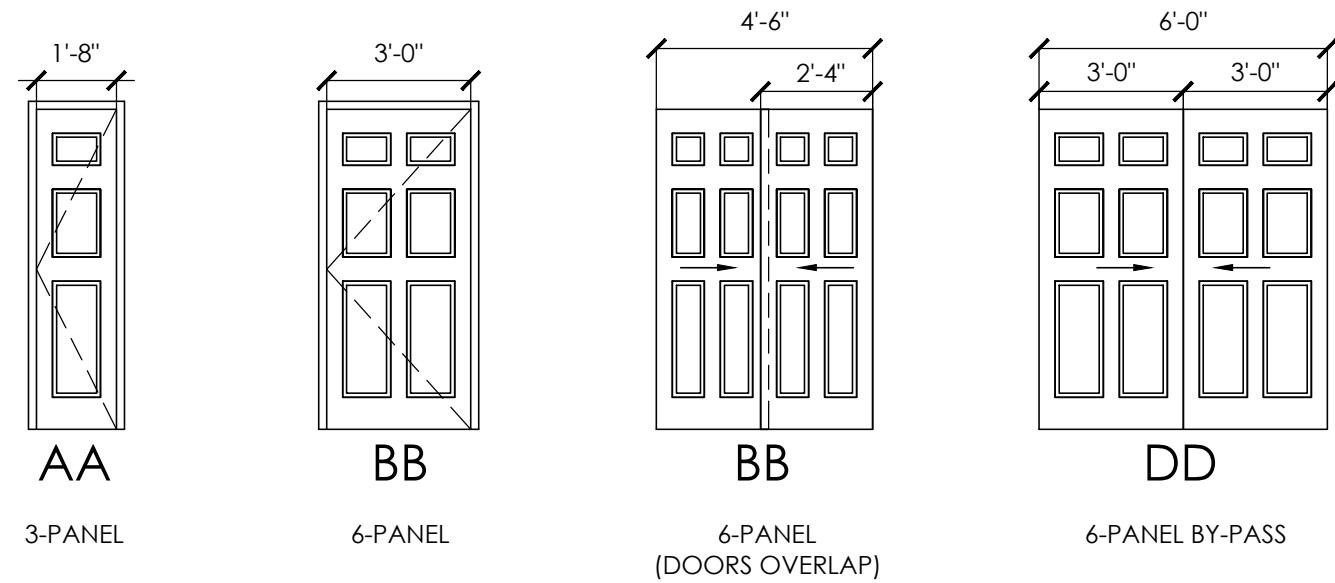
GENERAL ROOM FINISH NOTES:	
-	ALL DRYWALL TO BE 5/8" GYP. BD. TYPE "X"
-	DRYWALL IN BATHROOMS TO BE MOISTURE RESISTANT DRYWALL
-	PROVIDE TWO (2) COATS OF PRIMER PRIOR TO PAINTING

PAINT (PT) COLOR SCHEDULE:				
MAT. KEY	KEY DESCRIPTION	MANUFACTURER	DESCRIPTION - COLOR	REMARKS
CL-1	PAINT COLOR	SHERWIN WILLIAMS	#6379 JERSEY CREAM	SATIN FINISH (WALLS) SEMI GLOSS (DOORS & TRIM)
CL-2	PAINT COLOR	SHERWIN WILLIAMS	#6197 ALOOF GRAY	SATIN FINISH (WALLS) SEMI GLOSS (DOORS & TRIM)
CL-3	PAINT COLOR	SHERWIN WILLIAMS	#6758 AQUEDUCT	SATIN FINISH (WALLS) SEMI GLOSS (DOORS & TRIM)
CL-4	PAINT COLOR	SHERWIN WILLIAMS	#7757 HIGH REFLECTIVE WHITE	SATIN FINISH (WALLS) SEMI GLOSS (DOORS & TRIM) FLAT (CEILING)

FINISH MATERIAL SCHEDULE:				
MAT. KEY	KEY DESCRIPTION	MANUFACTURER	DESCRIPTION - COLOR	REMARKS
LPB-1	VANITY BACKSPLASH	AVONITE, ARISTECH ACRYLICS OR EVERFORM SOLID SURFACE OR EQUAL	AVONITE SURFACES COLOR WHITE	VANITY BACK SPLASH
LPB-2	LAMINATED PARTICLE BOARD - KITCHEN COUNTERTOPS, BACKSPLASH	WILSONART LAMINATES OR EQUAL	ARCTIC EXPEDITION Y0634	COORDINATE w/ MILLWORK VENDOR.
LVP-1	LUXURY VINYL TILE	NEXT FLOOR OR EQUAL	COLORADO 417 LVT	
CMT-1	CERAMIC MOSAIC TILE	DALTILE OR EQUAL	2" X 2" COLOR AS SELECTED BY OWNER	BATHROOM FLOOR TILE; (GC FURNISH AND INSTALL) GROUT; ANTI-MICROBIAL COLOR TO BE SELECTED BY OWNER
VB-1	VINYL BASE	ROPPE OR EQUAL	COLOR AS SELECTED BY OWNER	

LEGEND	
ALUM.	ALUMINUM
EX. CONC	EXIST. CONCRETE
FB	FIBERGLASS
GYP	GYPSUM BOARD
LVP	LUXURY VINYL PLANK
PT	PAINT
RB	RUBBER BASE
HCWD	HOLLOW CORE WOOD
WD	WOOD
<b>NOTE:</b>	

DOOR NO.	DOOR														FRAME				HARDWARE GROUP	REMARK	DOOR NO.	FROM	TO
	SIZE		ELEV.	PAIR	SINGLE	GLASS	MAT.	FIN.	FIRE LABEL	ELEV.	MAT.	FIN.	FIRE LABEL	FIN.									
	WIDTH	HEIGHT																					
101								CL-1					CL-1							DOOR TO BE INSTALLED BY OWNER (RHA) PRIOR TO CONSTRUCTION. (V.I.F.)	101	HALL	KITCHEN # 101
102	(2) 2'-4"	6'-8"	CC	X	-	-	HCWD	CL-1/CL-4	-	CC	-	CL-1	-	B						PROVIDE BY-PASS HARDWARE DOORS TO OVERLAP IN FULLY CLOSED POSITION	102	ENTRY	CLOSET # 102
103	1'-8"	6'-8"	AA	-	X	-	HCWD	CL-1/CL-4	-	AA	WD	CL-1	-	A							103	ENTRY	CLOSET # 103
104	1'-8"	6'-8"	AA	-	X	-	HCWD	CL-1/CL-4	-	AA	WD	CL-1	-	A							104	KITCHEN #101	CLOSET # 104
105	3'-0"	6'-8"	BB	-	X	-	FB	CL-1	-	BB	WD	CL-1	-	D						PROVIDE STORM DOOR IN ADDITION TO EXTERIOR DOOR. COORDINATE LOCKSET KEYING W/ OWNER (RHA)	105	LIVING RM. #105	BALCONY
106	3'-0"	6'-8"	BB	-	X	-	HCWD	CL-1/CL-2	-	BB	WD	CL-1/CL-2	-	A							106	LIVING RM. #106	BEDROOM #106
107	(2) 3'-0"	6'-8"	DD	X	-	-	HCWD	CL-2/CL-4	-	DD	-	CL-2	-	B						PROVIDE BY-PASS HARDWARE	107	BEDROOM #106	CLOSET # 107
109	3'-0"	6'-8"	BB	-	X	-	HCWD	CL-2/CL-3	-	BB	WD	CL-2/CL-3	-	C							109	BEDROOM #106	BATH #109



### 1 DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"

DOOR HARDWARE SET NO. A				
DOOR NO. 103, 104, 106: CLOSET AND BEDROOM TO HAVE THE FOLLOWING:				
No.	Item	Description	Manufacturer	Finish
3	HINGES	BB1541	HAGER	SATIN
1	LEVER	TWO WAY (NO LOCK)	KWIKSET BALBOA	SATIN
1	WALL STOP	SPS-407B-716	IVES/SCHLAGE	SATIN
<b>NOTE: EACH OPENING TO RECEIVE DOOR STRIKE</b>				
DOOR HARDWARE SET NO. B				
DOOR NO. 102, 107: BI-PASS DOORS TO HAVE THE FOLLOWING:				
No.	Item	Description	Manufacturer	Finish
1	DOOR TRACK KIT	#63590	PRIME LINE	SATIN
1	SLIDING CLOSET DOOR PULL	#N236-995	RELIABILT	SATIN
1	WALL STOP	SPS-407B-716	IVES/SCHLAGE	SATIN
<b>NOTE: MODIFY TRACK AS REQUIRED PER OPENING LIMITS</b>				
DOOR HARDWARE SET NO. C				
DOOR NO. 109: BATHROOM TO HAVE THE FOLLOWING:				
No.	Item	Description	Manufacturer	Finish
3	HINGES	BB1541	HAGER	SATIN
1	LEVER	TWO WAY (NO LOCK)	KWIKSET BALBOA	SATIN
1	WALL STOP	SPS-407B-716	IVES/SCHLAGE	SATIN
<b>NOTE: EACH OPENING TO RECEIVE DOOR STRIKE</b>				
DOOR HARDWARE SET NO. D				
DOOR NO. 105: EXTERIOR BALCONY DOOR TO HAVE THE FOLLOWING:				
No.	Item	Description	Manufacturer	Finish
3	HINGES	BB1541	HAGER	SATIN
1	LEVER	KEYED ENTRY SET	KWIKSET BALBOA	SATIN
1	WALL STOP	SPS-407B-716	IVES/SCHLAGE	SATIN
1	KICKPLATE	8400 SERIES	IVES	US 32 D
<b>NOTE: PROVIDE WHITE STORM DOOR. COORDINATE LOCK KEYING WITH OWNER</b>				

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PROJECT DESIGNER	DATE

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Seneca Manor Apartment  
Fire Damage Restoration  
401 Seneca Manor, Apt. 1117  
Rochester, NY 14621  
Monroe County  
Project Name & Location:

Schedules	
Drawing Name:	Project No.
Date: 08/17/23	23-0317
Type: Restoration	
Drawn By: SMP	A-102
Scale: As Noted	Drawing No.

### BUILDER'S STANDARD ELECTRIC SYMBOL KEY

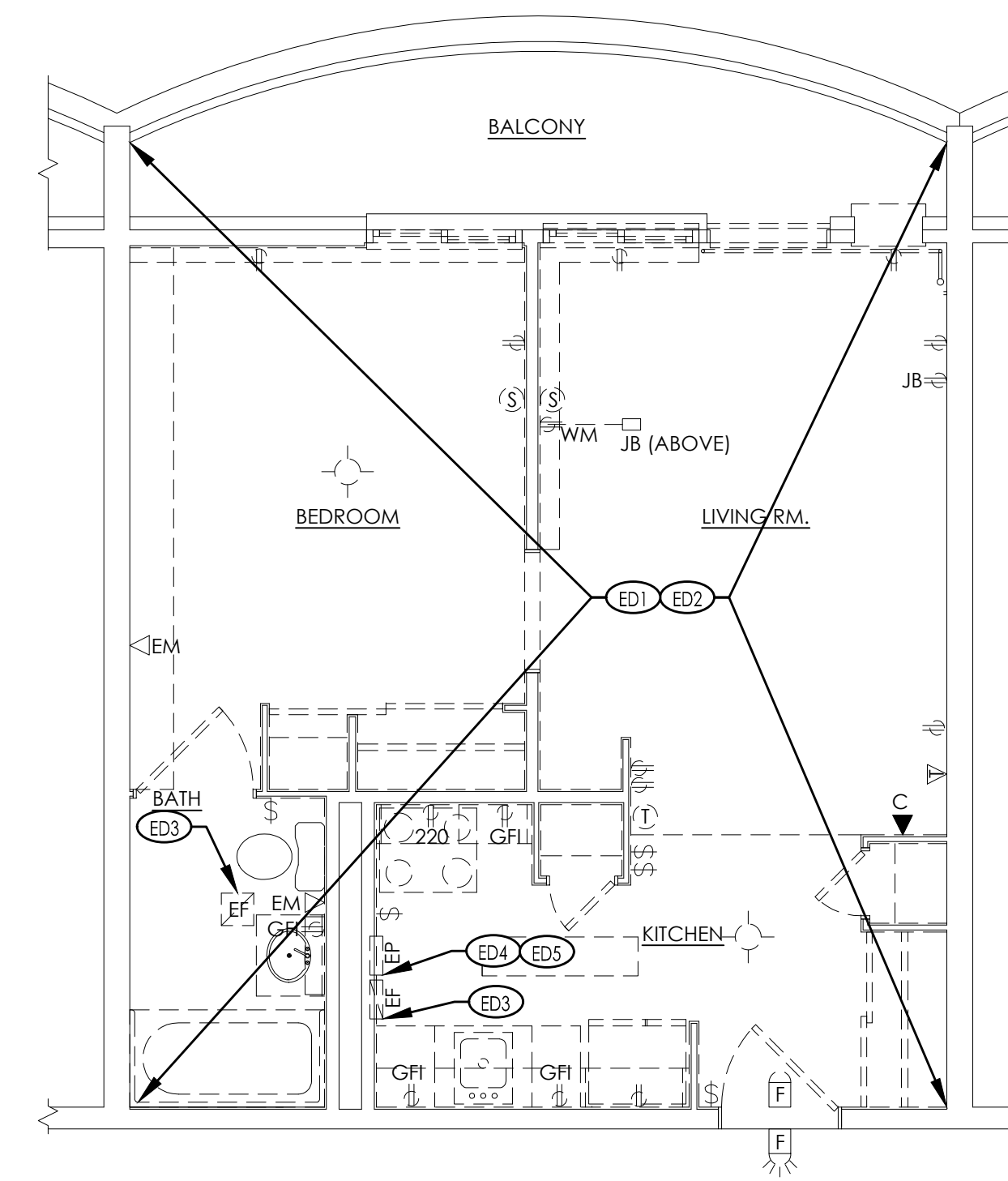
◀EM	EMERGENCY CALL OUT
⊙	AC (120V) SMOKE DETECTOR
⊖GF I	DUPLEX GROUND FAULT CURRENT INTERRUPTED TYPE
⊖R	RANGE OUTLET, 240V
⊖	DUPLEX RECEPTACLE, 120V, 18" AFF, UNLESS OTHERWISE NOTED
⊖	TELEPHONE WALL OUTLET
⊖	CATV WALL OUTLET
⊖	LIGHT FIXTURE, CEILING MOUNTED
⊖	SINGLE SWITCH
⊖	3-WAY SWITCH
⊖	NEW ELECTRICAL PANEL
⊖	FIRE ALARM SYSTEM
⊖	JUNCTION BOX SINGLE GANG
ADJUST VANITY LIGHT OPENING'S & OUTLET(S) AS NEEDED TO FINAL VANITY DESIGN	

### GENERAL NOTES

- 1) READ THE SPECIFICATIONS
- 2) VERIFY FINAL MOUNTING HEIGHTS OF ALL DEVICES MOUNTED ABOVE KITCHEN COUNTERTOPS PRIOR TO ROUGH-IN.
- 3) ELECTRICAL INFORMATION SHOWN ON DEMOLITION PLANS MAY NOT BE COMPLETE. CONTRACTOR SHALL MAKE THEIR OWN ON SITE REVIEW OF EXISTING CONDITIONS PRIOR TO SUBMITTING BID, AND TO BASE THEIR BID AMOUNT ON EXISTING CONDITIONS.
- 4) ELECTRICAL WORK SHALL COMPLY WITH BUILDING CODE OF NYS LOCAL CODES AND NATIONAL ELECTRICAL CODE. ARRANGE AND PAY FOR ALL REQUIRED INSPECTIONS.
- 5) REMOVE CIRCUITS, FIXTURES, DEVICES, CONDUIT, CABLE AND ASSOCIATED ROUGH IN BOXES, ETC., AS INDICATED ON DEMOLITION PLAN.
- 6) REMOVE AND REINSTALL ELECTRIC, TELEPHONE AND CATV SERVICES. REPLACE WITH NEW SERVICE IF NEEDED.
- 7) PROVIDE FIRE-RATED ROUGH IN BOXES IN FIRE RATED PARTITIONS.
- 8) PROVIDE NEW CIRCUITS AS REQUIRED, AND MAKE ELECTRICAL CONNECTIONS TO SERVE DEVICES, EQUIPMENT AND FIXTURES, INCLUDING ITEMS FURNISHED BY OWNER. CONCEAL ALL CIRCUITS IN STUD AND JOIST SPACES.
- 9) VERIFY LOADS, CALCULATE AND PROVIDE REQUIRED NUMBER OF CIRCUITS FOR DEVICES, FIXTURES AND EQUIPMENT. REFER TO PLANS FOR CIRCUITS. SIZE CIRCUITS FOR THEIR LOADS. BALANCE THE LOADS.

### ELECTRICAL DEMOLITION KEYNOTES

- Ⓧ ED1 DISCONNECT AND REMOVE ALL APARTMENT LIGHTING FIXTURE AND SWITCHING. VERIFY IN FIELD CONDITION OF EXISTING ASSOCIATED BRANCH CIRCUITING WIRING AND CONDUITS. REPLACE AS REQUIRED.
- Ⓧ ED2 ALL EXISTING POWER RECEPTACLES, DATA/SECURITY, SMOKE DETECTORS DEVICES, AND ASSOCIATED ROUGH IN BOXES TO BE REMOVED. VERIFY IN FIELD CONDITION OF EXISTING ASSOCIATED BRANCH CIRCUITING WIRING AND CONDUITS. REPLACE AS REQUIRED.
- Ⓧ ED3 REMOVE EXISTING EXHAUST FAN. FIELD VERIFY THE CONDITION OF EXISTING BRANCH CIRCUIT HOME RUN WIRING AND CONDUITS. REPLACED AS REQUIRED. EXTERIOR LOUVER TO REMAIN.
- Ⓧ ED4 REPAIR AND / OR REPLACE EXISTING ELECTRICAL SERVICE, WIRINGS AND CONDUITS AS REQUIRED FOR RELIABLE SERVICE EQUAL TO NEW
- Ⓧ ED5 EXISTING ELECTRICAL DISTRIBUTION PANEL TO BE REPLACED, NEW ONE SHALL HAVE SAME SPECIFICATIONS, CURRENT AMPACITY, AND SPACES.



1 Demolition Plan

SCALE: 1/4" = 1'-0"

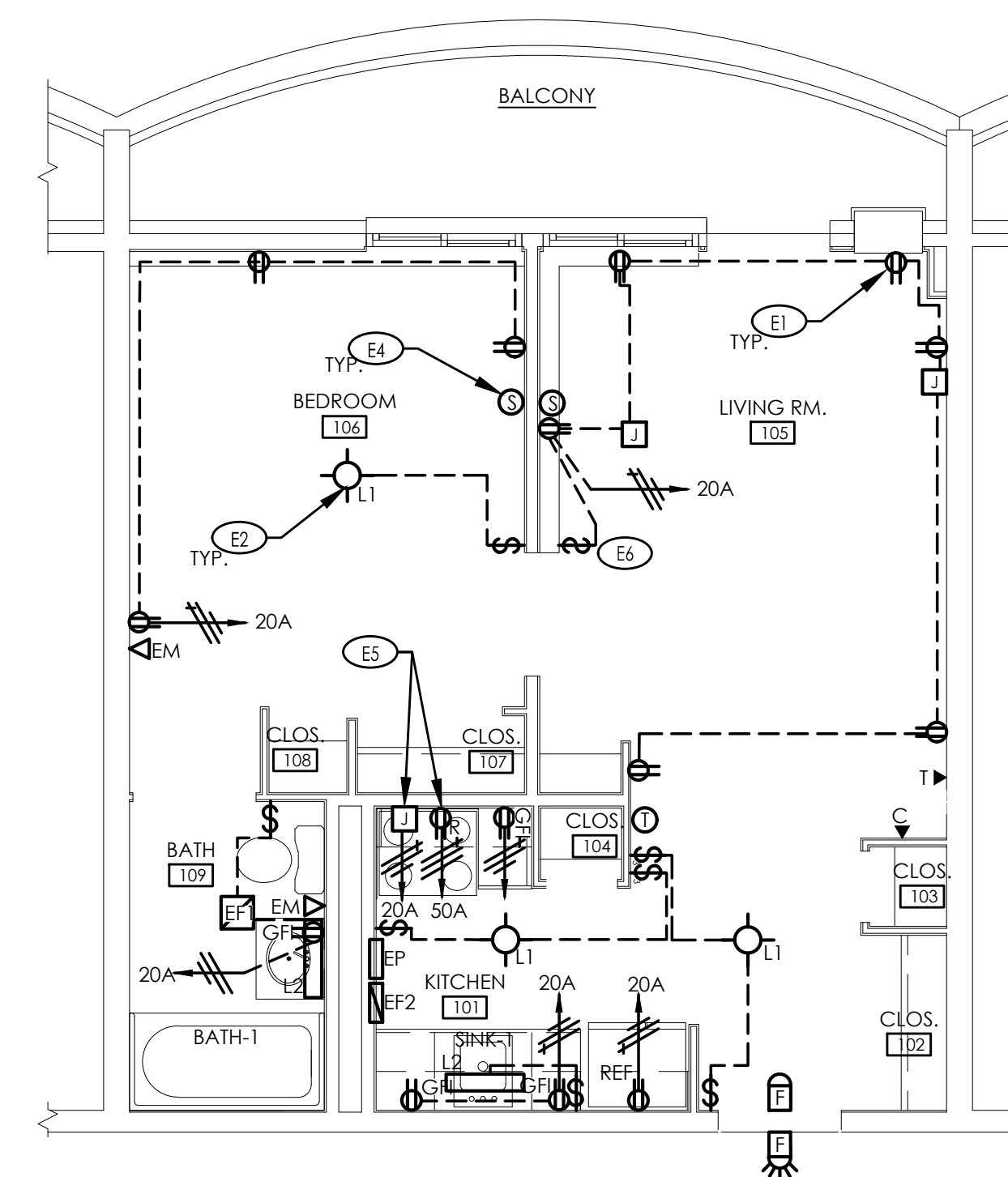
LIGHT FIXTURE SCHEDULE						
FIXTURE				LAMPS		
TYPE	DESCRIPTION	VOLTS	MANUFACTURER & CATALOG NUMBER	QTY	WATTS	NOTES
L1	15 IN. 3-LIGHT WHITE DEMO FLUSH MOUNT WITH WHITE GLASS SHADE	120/277	HAMPTON BAY JQ407H OR APPROVED EQUAL	3	60	1
L2	24" UNDER CABINET LIGHT	120/277	UTILITECH UC1061-WH1-24LF0 OR APPROVED EQUAL	1	12	1

- NOTES:  
1. MOUNT FIXTURE AT SAME HEIGHT AS EXISTING.

MECHANICAL MATERIAL LIST		
NOTES: 1. EQUIPMENT (OR EQUAL) TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.		
FIXTURE	SYMBOL	DESCRIPTION
EXHAUST FAN	EF1	MATCH EXISTING SIZE AND CAPACITY WITH COMBINATION LIGHT AND FAN MODEL.
EXHAUST FAN	EF2	MATCH EXISTING SIZE AND CAPACITY.
RANGE HOOD	HOOD-1	BROAN BTX-130WW UNDER-CABINET, WHITE, NON-DUCTED 30" WIDE X 18" DEEP, 2 SPEED WITH LED LIGHT AND GREASE FILTER, 120V AND 2.5 A.

### ELECTRICAL PLAN KEYNOTES

- Ⓧ E1 REPLACE ALL OUTLETS WITH TAMPERPROOF TYPE AND PROVIDE NEW NYLON UNBREAKABLE COVER PLATES.
- Ⓧ E2 REPLACE ALL LIGHTING FIXTURES PER SCHEDULE IN THIS DRAWING. REPLACE BATHROOM FAN/LIGHT, FEEDING FROM GH CIRCUIT. VERIFY LOCATION OF KITCHEN LIGHT WITH OWNER PRIOR TO INSTALLATION.
- Ⓧ E3 NOT USED.
- Ⓧ E4 REPLACE ALL SMOKE AND CARBON MONOXIDE DETECTORS. VERIFY SYSTEM OPERATION TO MEET CURRENT CODE. AMEND AS NECESSARY. REPAIR OR REPLACE ANY WIRING AS NECESSARY.
- Ⓧ E5 EXISTING RANGE CIRCUIT FEED TO BE VERIFIED IN FIELD. REPLACE AS REQUIRED. PROVIDE A NEW SUPPLY CIRCUIT FOR THE NEW RANGE HOOD FIELD VERIFY EXACT EQUIPMENT LOAD PRIOR TO ROUGH IN. COORDINATE RANGE HOOD MOUNTING HEIGHT WITH THE CABINET INSTALLER.
- Ⓧ E6 PROVIDE ONE SWITCHED OUTLET IN LIVING ROOM.



2 Electrical Plan

SCALE: 1/4" = 1'-0"

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PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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(585) 697 3600

Seneca Manor Apartment  
Fire Damage Restoration  
401 Seneca Manor, Apt. 1117  
Rochester, NY 14621  
Monroe County  
Project Name & Location:

Electrical Plans	
Drawing Name:	Project No.
Date: 08/17/23	23-0317
Type: Restoration	
Drawn By: MK	E-101
Scale: As Noted	Drawing No.

# Rochester Housing Authority

## Seneca Manor Apartment


### Fire Damage Restoration

401 Seneca Manor, Apt. 1117  
Rochester, NY 14621

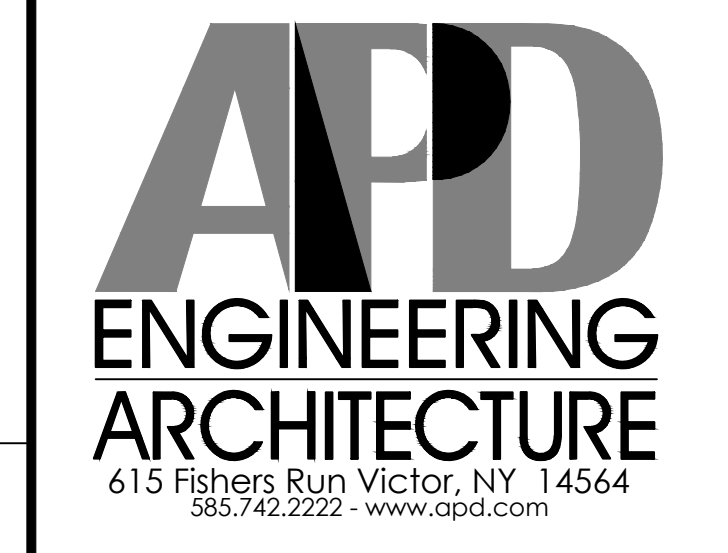
## Drawing Index

G-001	Cover Sheet and Project Locations
A-101	Floor Plans and Elevations
A-102	Schedules
M-101	Mechanical Plans and Notes
E-101	Electrical Plans

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### BUILDING CODE DATA

#### APPLICABLE CODES

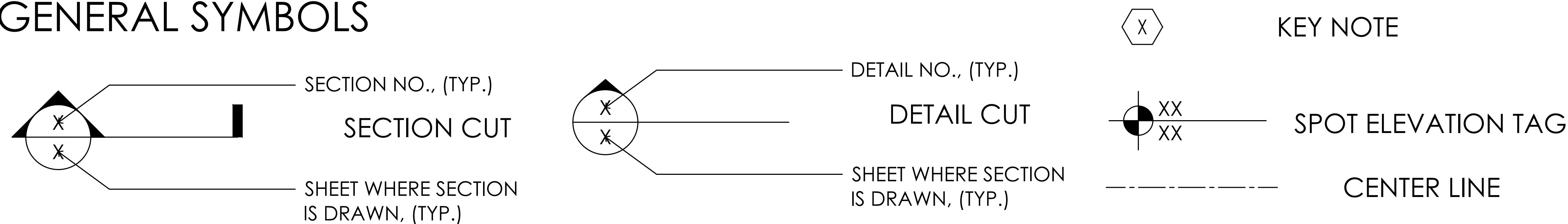
- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 EXISTING BUILDING CODE OF NEW YORK STATE

OCCUPANCY: R2

CONSTRUCTION CLASSIFICATION: TYPE VB

CLASSIFICATION OF WORK: ALTERATION LEVEL 3

### GENERAL SYMBOLS



### RHA CONTACT:

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### ARCHITECT :

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Architect of Record  
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Contact: Steve Palmeri  
O: (585) 742-0238  
C: (585)  
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### NOTES

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Seneca Manor Apartment  
Fire Damage Restoration  
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Monroe County  
Project Name & Location:

### Cover Sheet

Drawing Name:	Project No.
Date: 08/17/23	23-0317
Type: Restoration	
Drawn By: ASR	G-001
Scale: As Noted	Drawing No.

# PLUMBING LEGEND

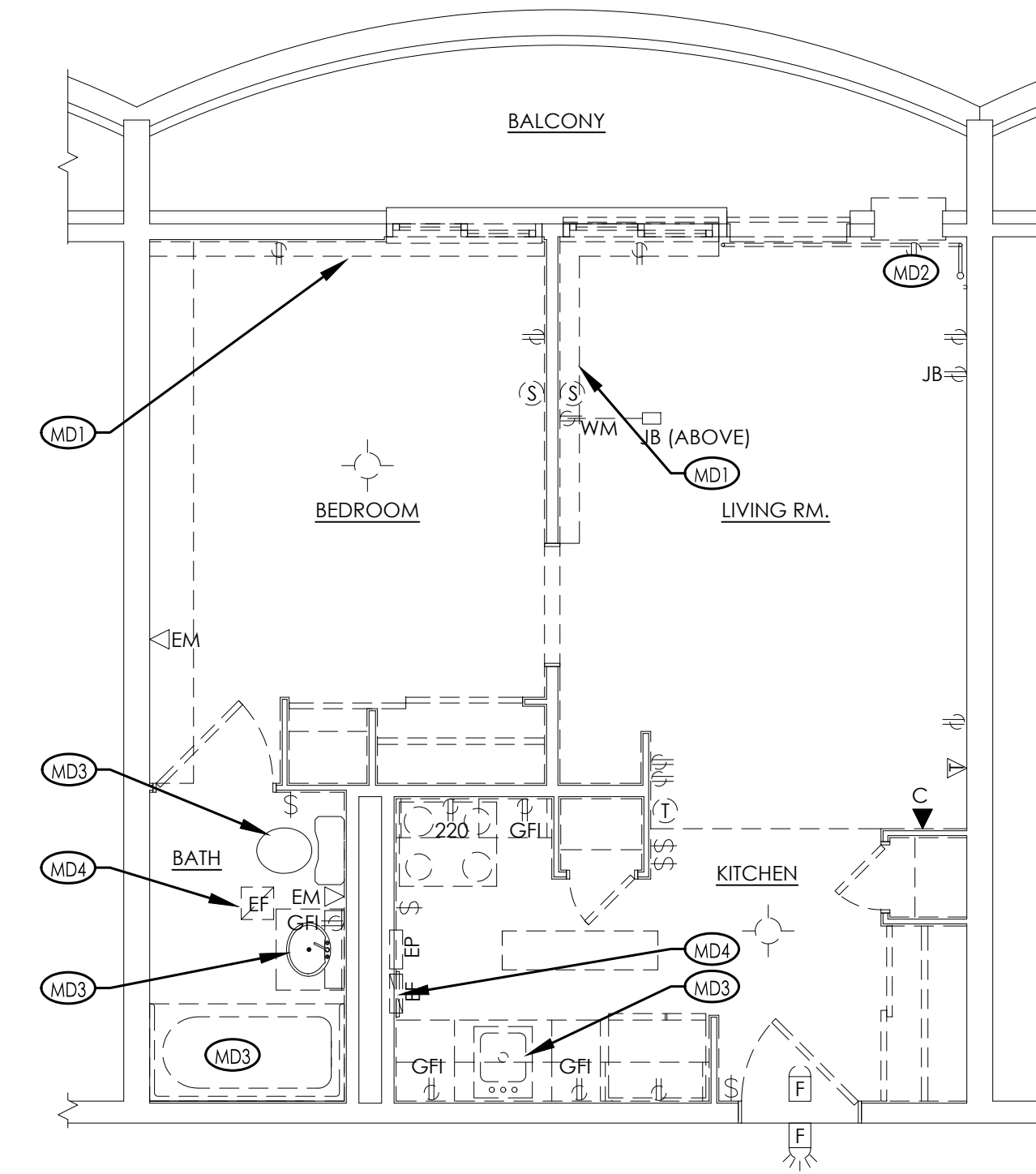
SYMBOL & ABBREVIATION	ITEM
— CW —	COLD WATER
— HW —	HOT WATER
— SAN —	SAN. WASTE
— V —	VENT

## MECHANICAL DEMOLITION KEYNOTES:

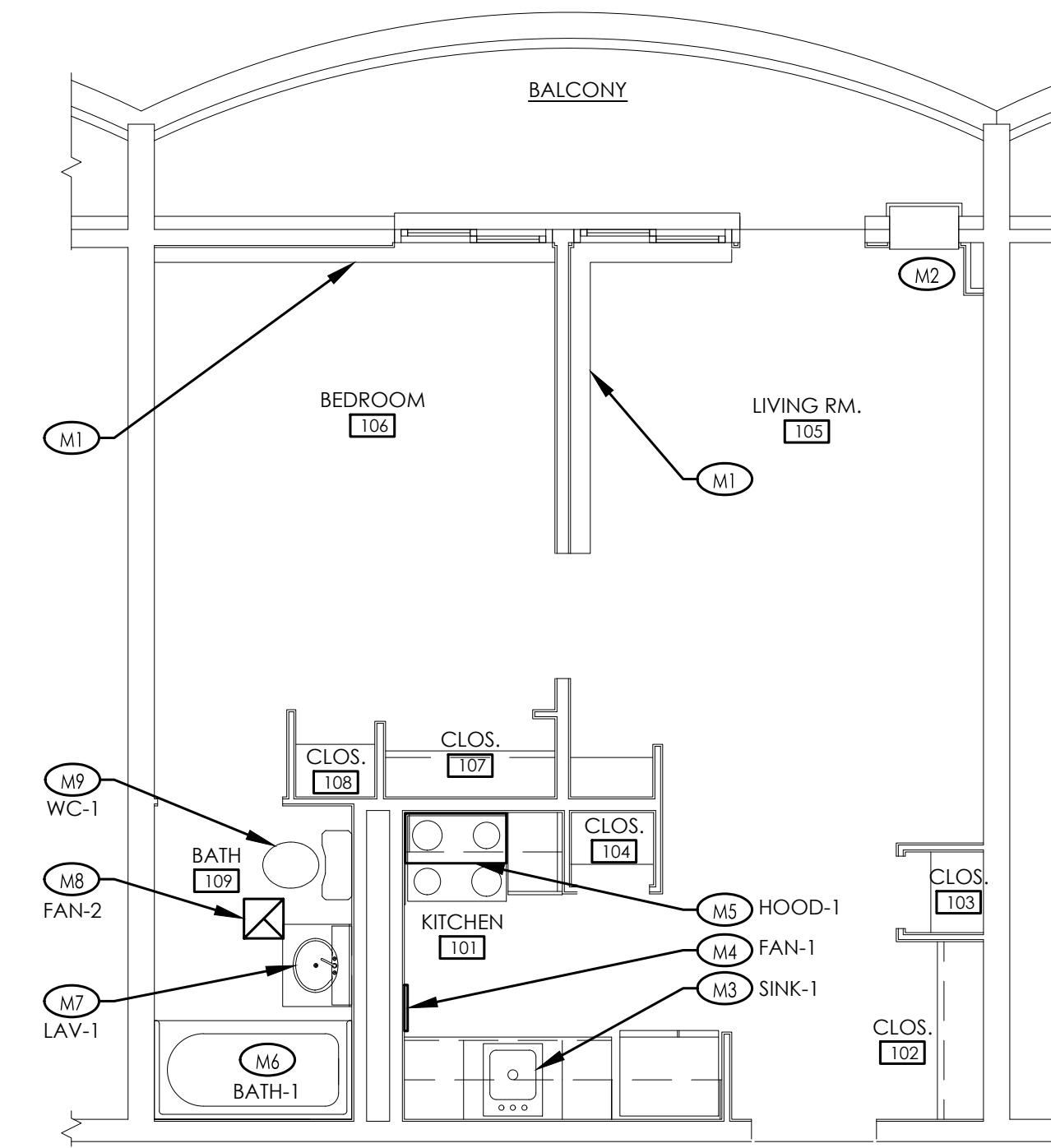
- (MD1) REMOVE AND CLEAN EXISTING FIN TUBE COVERS AND RETAIN FOR USE IN NEW WORK. CLEAN EXISTING FIN TUBE HEATER.
- (MD2) CLEAN EXISTING AC SLEEVE AND LOUVER.
- (MD3) REMOVE AND DISPOSE OF EXISTING FIXTURE. RETAIN WATER AND SANITARY CONNECTIONS FOR USE IN NEW WORK. (KITCHEN SINK & FAUCET, BATHROOM SINK & FAUCET, LAVATORY, TUB, SURROUND & SHOWER FAUCET, TOILET)
- (MD4) REMOVE AND DISPOSE OF EXISTING EXHAUST FAN AND GRILL. RETAIN AND CLEAN DUCT AND EXTERIOR HOOD FOR USE IN NEW WORK.

## GENERAL NOTES:

1. REFER TO THE SPECIFICATIONS FOR FURTHER DETAILS.
2. MECHANICAL INFORMATION SHOWN ON DEMOLITION PLANS MAY NOT BE COMPLETE. CONTRACTOR SHALL MAKE THEIR OWN ON SITE REVIEW OF EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR BID, AND TO BASE THEIR BID AMOUNT ON EXISTING CONDITIONS.
3. MECHANICAL WORK SHALL COMPLY WITH BUILDING CODE OF NYS AND LOCAL CODES. ARRANGE AND PAY FOR ALL REQUIRED INSPECTIONS.
4. ADHERE TO FIXTURE AND EQUIPMENT MANUFACTURERS WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
5. ALL PLUMBING FIXTURES, DEVICES AND MATERIAL SHALL COMPLY WITH THE SAFE DRINKING WATER ACT OF 2011.



1 Mechanical Demolition Plan  
SCALE: 1/4" = 1'-0"



2 Mechanical Plan  
SCALE: 1/4" = 1'-0"

## MECHANICAL PLAN KEYNOTES:

- (M1) VERIFY EXISTING FIN TUBE CONTROLS ARE IN PROPER WORKING ORDER. REPAIR/REPLACE AS NEEDED. PAINT RETAINED FIN TUBE COVERS AND REINSTALL.
- (M2) REPAIR AND PAINT EXISTING AC SLEEVE AND LOUVER.
- (M3) PROVIDE KITCHEN SINK, FAUCET, H&CW CONNECTIONS, SANITARY CONNECTION, STOPS, ESCUTCHEON PLATES AND ALL OTHER MATERIALS FOR A COMPLETE INSTALLATION.
- (M4) INSTALL NEW EXHAUST FAN AND GRILL. ATTACH TO EXISTING DUCTWORK.
- (M5) INSTALL RECIRCULATING HOOD OVER STOVE.
- (M6) PROVIDE BATHTUB AND SURROUND, FAUCET, H&CW CONNECTIONS, SANITARY CONNECTION, SHOWER/TUB ASSEMBLY, MIXING VALVE AND ALL OTHER MATERIALS FOR A COMPLETE INSTALLATION.
- (M7) PROVIDE BATHROOM SINK, FAUCET, H&CW CONNECTIONS, SANITARY CONNECTION, STOPS, ESCUTCHEON PLATES, MIXING VALVE AND ALL OTHER MATERIALS FOR A COMPLETE INSTALLATION.
- (M8) INSTALL NEW EXHAUST FAN AND GRILL. ATTACH TO EXISTING DUCTWORK.
- (M9) PROVIDE WATER CLOSET, CW CONNECTION, SANITARY CONNECTION, STOP, ESCUTCHEON PLATE AND ALL OTHER MATERIALS FOR A COMPLETE INSTALLATION.

## MECHANICAL MATERIAL LIST

FIXTURE	SYMBOL	DESCRIPTION
WATER CLOSET	WC-1	AMERICAN STANDARD CADET MODEL 2447.014 TOILET, FLOOR MOUNT, LOW CONSUMPTION 1.6 GPF, WHITE VITREOUS CHINA, 2-PIECE CONSTRUCTION, INCLUDES BOLT CAPS AND COUPLING COMPONENTS. PROVIDE WITH PROFLO MODEL PFTSCOF2000WH OPEN FRONT SEAT, LESS COVER.
LAVATORY	LAV-1	VANITY SINK BY OTHERS. PROVIDE FAUCET - MOEN FAUCET SINGLE HANDLE LAVATORY FAUCET CHATAU MODEL L4625, WITH POP-UP DRAIN, DECK-MOUNT (THREE HOLE), CHROME, 0.5 GPM FLOW.
SHOWER/TUB	BATH-1	TUB - AMERICAN STANDARD NEW SALEM MODEL 0255212.020 30"X60" WHITE PORCELAIN STEEL WITH LEFT HAND DRAIN, INCLUDES SHOWER HEAD, FAUCET, P-TRAP, STRAINER, MIXING VALVE AND ALL ADDITIONAL HARDWARE FOR A COMPLETE INSTALLATION. TUB/SHOWER TRIM: PEERLESS MODEL P62410 SHOWER, DELTA MODEL NUMBERS R10000-UNBX VALVE BODY, T13120 FAUCET AND T11800 DIVERTER, CHROME.
EXHAUST FAN	FAN-1	MATCH EXISTING SIZE AND CAPACITY.
KITCHEN SINK	SINK-1	UNDERMOUNT SINGLE BOWL STAINLESS STEEL SINK - DELTA MODEL ECTRUAD211755, 21" L X 17" W X 5.5" D BOWL, 18 GAUGE SS, INCLUDING DRAIN BASKET, STRAINER, P-TRAP, ANGLE STOPS & FAUCET - DELTA FAUCET MODEL 21715LF, 3 HOLE, 2 HANDLE, LESS SPRAY, CHROME.
EXHAUST FAN	FAN-2	MATCH EXISTING SIZE AND CAPACITY WITH COMBINATION LIGHT AND FAN MODEL.
RANGE HOOD	HOOD-1	BROAN F40000 UNDER-CABINET, WHITE, NON-DUCTED 30" WIDE X 17 1/2" DEEP X 6" TALL, 2 SPEED, WITH LED LIGHT AND GREASE FILTER.

NOTES:  
1. EQUIPMENT (OR EQUAL) TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

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Project Name & Location:

Mechanical Plan and Notes  
Drawing Name:

Date: 08/17/23  
Project No. 23-0317

Type: Restoration

Drawn By: SJK  
M-101

Scale: As Noted  
Drawing No.